



Office of General Services

DESIGN & CONSTRUCTION GROUP
THE GOVERNOR NELSON A. ROCKEFELLER
EMPIRE STATE PLAZA
ALBANY, NY 12242

ADDENDUM NO. 2 TO PROJECT NO. Q1963

CONSTRUCTION, ELEVATOR, PLUMBING, HVAC & ELECTRICAL WORK
PROVIDE RENOVATIONS & ELECTRICAL UPGRADES,
MAIN ELEVATOR MACHINE ROOM
UPSTATE MEDICAL CENTER
750 E ADAMS ST
SYRACUSE, NY 13210-2306

October 17, 2025

NOTE: This Addendum forms a part of the Contract Documents. Insert it in the Project Manual. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

GENERAL REQUIREMENTS - COMMON

1. DOCUMENT 015000 CONSTRUCTION FACILITIES & TEMPORARY CONTROLS MULTI: Discard the Section bound in the Project Manual and substitute the accompanying Section (pages 015000 – 1 thru 015000 – 7) noted “Addendum No. 2 10/17/2025”.

CONSTRUCTION WORK SPECIFICATIONS

2. SECTION 083113 ACCESS DOORS: Add the accompanying Section (pages 083113 – 1 and 083113 – 2) noted “Addendum No. 2 10/17/2025” to the Project Manual.

GENERAL DRAWINGS

3. Drawing No. G-001
 - a. General Site and Phasing Notes, Change Note 1 to Read:

“EXTERIOR SITE STAGING AND STORAGE IS NOT AVAILABLE. ALL MATERIALS AND EQUIPMENT SHALL BE DELIVERED TO THE SITE DAILY AND COORDINATED WITH THE DIRECTOR’S REPRESENTATIVE. PAID PARKING IS AVAILABLE AROUND THE FACILITY AT LOTS AND GARAGES. CONTRACTOR TO BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PARKING.”
 - b. Infection Control Notes, Change Note 3 to Read:

“REFER TO BARRICADE DETAILS AND NOTES (2/G-103) FOR ADDITIONAL REQUIREMENTS.”

4. Drawing No. G-103

a. Phasing Notes, Change Note P102 to Read:

“(C-CONTRACT) REMOVAL OF ASBESTOS CONTAINING SPRAY-APPLIED FIRE-PROOFING ASSOCIATED WITH STRUCTURAL BEAMS IN ELEVATOR MACHINE ROOM 10001 - PERFORM IN 6 SEPARATE SEQUENCES WITH ASSOCIATED TEMPORARY BARRICADES - PROTECT MACHINE ROOM EQUIPMENT AS COORDINATED WITH EACH SEPARATE CONTRACT – A MAXIMUM OF (2) ELEVATORS SHALL BE TAKEN OUT OF SERVICE AT A TIME DURING THIS PHASE”

b. Phasing Notes, Change Note P118 to Read:

“(C-CONTRACT) INSTALLATION OF STRUCTURAL STEEL FIRE-PROOFING IN MACHINE ROOM 10001 - WORK SHALL COMMENCE ONCE ALL ABATEMENT ACTIVITIES IN PHASE ARE COMPLETE PERFORM WORK IN 6 SEPARATE SEQUENCES - PROTECT MACHINE ROOM EQUIPMENT AS COORDINATED WITH EACH SEPARATE CONTRACT - A MAXIMUM OF (2) ELEVATORS SHALL BE TAKEN OUT OF SERVICE AT A TIME DURING THIS PHASE”

c. Phasing Notes, Change Note P403 to Read:

“(H-CONTRACT) COORDINATE SHUTDOWN AND PROTECTION OF MACHINE ROOM 10001 HVAC EQUIPMENT DURING ABATEMENT AND FIRE-PROOFING ACTIVITIES - ANTICIPATE 12 SEPARATE MOBILIZATIONS DURING THIS PHASE – A MAXIMUM OF (2) ELEVATORS SHALL BE TAKEN OUT OF SERVICE AT A TIME DURING THIS PHASE”

d. Phasing Notes, Change Note P521 to Read:

“(E-CONTRACT) COORDINATE SHUTDOWN AND PROTECTION OF MACHINE ROOM 10001 ELECTRICAL EQUIPMENT DURING ABATEMENT AND FIRE-PROOFING ACTIVITIES - ANTICIPATE 12 SEPARATE MOBILIZATIONS DURING THIS PHASE – A MAXIMUM OF (2) ELEVATORS SHALL BE TAKEN OUT OF SERVICE AT A TIME DURING THIS PHASE”

CONSTRUCTION WORK DRAWINGS

5. Revised Drawings:

- a. Drawing No. HM-101, S-405, A-403 and A-404, noted “REVISED DRAWING 10/17/2025” accompanies this Addendum and supersedes the same numbered originally issued drawings.

END OF ADDENDUM

Brady M. Sherlock, P.E.
Director, Division of Design
Design & Construction

SECTION 015000

CONSTRUCTION FACILITIES & TEMPORARY CONTROLS

PART 1 GENERAL

1.01 DESCRIPTION

- A. Provide the construction facilities and temporary controls necessary for the Work, unless otherwise indicated.
 - 1. The construction facilities and temporary controls specified to be provided by a particular Contract shall be kept operational by that Contractor for the Work of all related Contracts at all times Work is being performed by a Contractor.
 - 2. The construction facilities and temporary controls specified to be provided by a particular Contractor shall be installed as soon after award of the Contract as necessary to enable the Work of each Contract to proceed on schedule and maintained until completion of the Work of all related contracts unless otherwise directed in writing.
 - 3. Any Contractor who requires additions to the construction facilities and temporary controls specified to be provided by another Contractor, shall provide and maintain them.
 - 4. Exterior areas used by the contractor may require a permit as delineated in the drawings. Refer also to the Liability Waiver Appendix.

1.02 RELATED WORK SPECIFIED ELSEWHERE

- A. Disposal of Asbestos-Containing Materials: Section 028213.

1.03 TEMPORARY LIGHT AND POWER

- A. Electrical energy for temporary light and power will be made available without charge.
- B. Extent of Temporary Wiring: Contractors may ascertain the extent of the temporary wiring provided under the Electrical Work Contract by examining the Electrical Drawings.
- C. Electrical Work Contract:
 - 1. Make necessary arrangements, through the Director's Representative, for temporary electrical service at location indicated.
 - 2. Provide portable source of electricity for temporary light and power of adequate capacity to supply the needs of all contractors for the performance of their Work until the temporary electrical service can be utilized for temporary light and power.
 - 3. Provide wiring and other equipment within the building for temporary light and power.
 - a. Wiring for temporary light and single phase power shall, in general, consist of 3 wire, 120/240 volt or 4 wire, 120/208 volt feeders, with branch circuits of #12 conductors minimum.

- 1) Install branch circuits with suitable fluorescent fixtures or incandescent lampholders for temporary lighting as required to maintain a minimum of 10 foot candles in the work areas. Equip fixtures and lampholders with guards. Fixtures and lampholders installed in damp or wet locations shall be of the weatherproof type.
- 2) Install branch circuits with fused grounding type receptacle outlets for single phase power (for power tools, etc.).
- b. Install 2 circuits with fluorescent fixtures or incandescent lampholders in corridors and stairs. Space fixtures or lampholders no more than 30 feet apart in corridors. Install fixture or lampholder at each stair landing. Also install one fixture or lampholder in each boiler room and mechanical equipment room (connect to the corridor and stair lighting circuits).
4. Provide a fused sealed service entrance switch for corridor and stair lighting circuits. Locate switch adjacent to and connect to line side of temporary light and power service entrance switch. Stencil cover "CORRIDOR AND STAIR LIGHTING".
5. Provide lamps and fuses including replacements required.
- D. All Contracts:
 1. Any Contractor requiring additional lighting shall provide additional fluorescent fixtures or incandescent lampholders (with lamps), but in no case shall the load on any branch circuit or feeder exceed its rated capacity.
 2. Install materials for temporary light and power in conformance with the National Electrical Code.
 3. Materials for temporary light and power need not be new if they are in satisfactory operating condition.
 4. Provide ground-fault protection for personnel (such as portable plug-in type ground-fault circuit-interrupters) on single phase 15 and 20 ampere receptacle outlets which are in use.
 5. Receptacle outlets, portable cord connectors and attachment plugs shall have standard NEMA configurations.
 6. As the progress of the Work allows, and as approved, completed portions of the permanent wiring and electrical service may be utilized for temporary light and power.

1.04 TEMPORARY WATER

- A. Water will be made available for the Work without charge at source or sources directed within the limits of the existing supply and usage.
- B. All Contracts: Prevent waste of water.

1.05 TEMPORARY TOILETS

- A. Existing toilet rooms within the facility to be used by the Contractors' and subcontractors' employee will be designated by the Director's Representative.
 - 1. Construction Work Contract: Maintain assigned toilet rooms in a sanitary condition.

1.06 PROTECTION OF WORK AND EXISTING PROPERTY

- A. Protect installed Work and existing property during performance of the Work.
- B. Maintain the building in a watertight condition during performance of the Work.
- C. Provide temporary and removable protection for installed products. Control activity in immediate work area to prevent damage.
- D. Provide protective coverings at wall projections, jambs, sills, and soffit of openings.
- E. Protect finished floors, stairs, and other surfaces from traffic, dirt, wear, damage, and movement of heavy objects by covering them with durable sheet materials.
- F. Protect smoke detectors from airborne dust and debris.
 - 1. At the beginning of each work day, provide protective coverings over smoke detectors in areas where airborne dust and debris will be generated by the Work.
 - 2. At the end of the work day, clean the areas in which the smoke detectors are located by whatever means necessary to assure that airborne dust and debris will not contaminate the smoke detectors, then remove protective coverings.
 - 3. Provide signs, instructions and alternate methods for reporting a fire during the periods that the smoke detectors are covered.
 - 4. Notify the Director's Representative and have procedures approved.
- G. Prohibit traffic or storage upon waterproofed and roofed surfaces. If traffic or activity is necessary, obtain recommendations for protection from waterproofing or roofing material manufacturer.
- H. Protect existing trees and plants during performance of the Work unless otherwise indicated. Box trees and plants within the grading limit lines. Do not deposit excavated materials or store building materials around trees or plants. Do not attach guy wires to trees.
 - 1. Exterior areas permitted for use located on lawn areas are to be regraded and seeded at completion of project to restore to its original condition.
- I. Prohibit traffic from landscaped areas.
- J. Cleaning tools of cementitious and other insoluble materials:
 - 1. Do not wash tools in sinks or other sanitary drainage systems. Protect all drainage systems from debris that can clog or damage piping and fixtures.

2. Take all precautions necessary to prevent cementitious and other insoluble materials from flowing into floor drains.
3. Dispose of excess cementitious and other insoluble debris with the other rubbish.

1.07 BARRIERS AND ENCLOSURES

- A. All Contracts: Provide barriers during performance of the Work to:
 1. Prevent unauthorized entry to work areas.
 2. Allow for State's occupancy of Site.
 3. Protect existing facilities and adjacent properties from damage.
 4. Protect vehicular and pedestrian traffic.
- B. Construction Work Contract:
 1. Temporary Partitions: Provide temporary partitions to form 2-hour fire resistive barriers between work areas and areas occupied by State personnel. Construct the partitions as specified in drawings.
 3. Temporary Dust Barriers: Provide temporary dust barriers to prevent the spread of dust from the work areas. Construct the dust barriers of wood framing sheathed with 6 mil polyethylene film or ZipWall Dust Barrier System (or equal). Secure the dust barriers in place without damaging existing construction.

1.08 SECURITY

- A. Key Deposits: A \$25 deposit will be required for each key issued by the Facility. Deposits will be refunded upon return of the keys.
- B. Facility Key Regulations:
 1. Sign Facility keys out and in on a daily basis unless otherwise directed.
 2. Keep keys on person at all times while on the premises. Do not loan or give keys to other persons.
 3. Do not remove keys from the premises without written permission from the Director's Representative.
 4. Report lost, missing, or stolen keys immediately to the Facility Safety/Security Department. Assume responsibility for cost of necessary key and lock replacement as a result of lost, missing, or stolen keys.
- C. Promptly relock doors and security screens located in access routes, storage areas, and work areas after use.
- D. Restore, by the end of each work day, existing in place safety/security items such as doors, screens, alarm systems components, that required removal, replacement, or adjustment to perform the Work, unless otherwise authorized in writing by the Director's Representative.
- E. Remove all tools and materials from patient occupied work areas when the work areas are not attended by employees and at the end of each work day. Store tools in a locked tool box, cabinet, or shed. Store materials where directed, in a location secure from access by patients and clients.

- F. All Facility-issued identification badges shall be returned at the end of each work day, as coordinated by the Director's Representative.

1.09 WATER CONTROLS

- A. Provide and maintain pumping equipment necessary to keep the work areas free from water. Discharge water into existing storm drainage systems or otherwise disperse as directed.

1.10 FIRE PREVENTION

- A. Take precautions necessary to prevent fires.
- B. Fuel for cutting and heating torches shall be acetylene or LP-gas only, and shall be contained in Underwriters Laboratory or Federal Department of Transportation approved containers.
- C. Furnish and maintain a currently inspected 20 pound capacity multi-class A:B:C fire extinguisher in the immediate vicinity where welding tools or torches are in use.
- D. Furnish and maintain a currently inspected fire extinguisher of the appropriate class and size whenever the temporary storage of materials changes that areas classification of fire load or life safety.
- E. Do not use flammable liquids, other than those specified, within a building without the written approval from the Director's Representative.
- F. Tarpaulins shall be flameproof and shall be securely anchored when attached to scaffolding or when used to enclose any portion of a building.
- G. If required by the nature of the work and facility regulations, the Contractor shall obtain from the facility and pay all costs associated with "Hot Work Permits" including fire watches to execute the work of its contract. Perform hot work in accordance with the Fire Code of New York State and the Hot Work Program approved for the work. Prior to, during and after performing hot work, inspect the hot work area for compliance with the requirements of the permitted Hot Work Program.
 - 1. Post signage "Caution: Hot Work In Progress – Stay Clear" in conspicuous locations warning others before they enter a hot work area where the area is accessible to persons other than the operator of the hot work equipment.
 - 2. See applicable facility permits and conditions bound in the Appendix.

1.11 TEMPORARY FIRE PROTECTION

- A. If the existing building is to be partially occupied during the course of the project, all existing exits, fire walls, fire barriers and fire protection systems shall be continuously maintained in the occupied phases in compliance with the Fire Code of New York State. Comply with NFPA 241 for items not specifically addressed in the Fire Code of New York State.

- B. Those portions occupied by the facility must be available for their use 24 hours a day, seven days a week during the contract period unless otherwise scheduled in these documents.
- C. Prior to removal of existing fire walls, fire barriers and fire protection systems, if such removal is part of the work, install equivalent temporary fire walls, fire barriers and fire protection systems as defined in these documents and as approved by the Director's Representative and/or the facilities representative.
- D. The cost of all labor, fire watches, variances, materials, installations, maintenance and removal of such temporary fire protection systems or modifications to the existing systems are the responsibility of the Contractor. Install permanent fire walls, fire barriers and fire protection systems, if provided as part of the work, as soon as practical.

1.12 ACCESS ROADS

- A. Routes of ingress and egress on the premises to the location of the Work shall be as directed.
- B. Keep designated access roads clear of dirt and debris resulting from the Work.
- C. Provide means of removing mud from vehicle wheels before entering paved roads.

1.13 RUBBISH REMOVAL

- A. Clean up and containerize the rubbish (refuse, debris, waste materials, and removed materials and equipment) resulting from the Work at least once a day and more often if the rubbish interferes with the work of others or presents a hazard. Leave work areas broom clean, except where more stringent cleaning is specified, at the end of each day. Locate containerized rubbish on the Site where directed.
- B. Remove rubbish from State property at least once a week and more often if the rubbish presents a hazard. Properly dispose of rubbish.
 - 1. Burning of rubbish will not be permitted.
- C. Also comply with the requirements of Section 017419.

1.14 RELOCATION AND REMOVALS

- A. Should a change in location of any construction facilities and temporary controls be necessary in order to progress the Work properly, remove and relocate such items as directed.
 - 1. Electrical Work Contract: Frequently relocate/revise the temporary lighting as Contractors progress the Work of their contracts causing changes to the condition of the building (installation or relocation of

walls, partitions, ceilings, equipment, etc.). Keep pace with the changes and maintain a minimum of 10 foot candles in each recomposed work area.

- B. Remove the construction facilities and temporary controls when they are no longer required. Restore permanent facilities used for or connected to temporary facilities to their original condition or better.

1.15 STORAGE

- A. All Contracts requiring exterior staging and/or storage are to coordinate with Directors Representative. Any permits required are the responsibility of the Contractor. Refer to Drawings and the Liability Waiver Appendix.

PART 2 PRODUCTS (Not Used)

PART 3 EXECUTION (Not Used)

END OF SECTION

SECTION 083113

ACCESS DOORS

PART 1 GENERAL

1.01 SUBMITTALS

- A. Product Data: Catalog sheets, specifications, and installation instructions.

1.02 QUALITY ASSURANCE

- A. Regulatory Requirements:
1. Fire Rated Access Doors For Walls: Complete assemblies complying with Underwriter's Laboratories, Inc (UL) requirements for 1-1/2 hour "B Label" rating. Identify each assembly with UL label.

PART 2 PRODUCTS

2.01 FIRE RATED FLOOR HATCH

- A. Basis of Design: BA-FRFD Floor Door as manufactured by ACUDOR
1. Application: Designed for interior applications and maintains the specified fire rating of the floor assembly.
 2. Material: Aluminum door & top frame; Stainless steel bottom frame, hinges & hardware.
 3. Door: 1/4" aluminum diamond plate reinforced for live load of 150 lb/per sq. ft.
 4. Frame: 3" x 3" x 1/4" aluminum top frame with thermal break 3 1/2" x 2" x 11-gauge stainless steel bottom frame.
 5. Insulation: Two - 1" thick layers of ceramic blanket insulation attached to bottom frame.
 6. Hinge: Type 316 stainless steel continuous piano hinge.
 7. Opening Device: Door panel opens to 90 degrees. Automatic hold open arm with red vinyl grip keeps door in open position to ensure safe egress. Stainless steel compression springs provide lift assistance. U.L. listed 165 degrees fusible link is provided for automatic closing and latching in the event of smoke or fire.
 8. Latch: Stainless steel slam latch assembly with interior release.
 9. Tested to NFPA 288; ASTM E 119.

2.03 FABRICATION

- A. Assemble access doors as integral units complete with all parts and ready for installation. Fabricate units of continuous welded steel construction unless otherwise indicated or specified. Grind welds smooth and flush with adjacent surfaces. Anchorage devices shall be of size and type required to secure access doors to types of supports indicated on the Drawings.
1. Allowable Size Variations: Manufacturer's standard size units which vary slightly from the sizes indicated may be acceptable, subject to the approval of the Director.

PART 3 EXECUTION

3.01 INSTALLATION

- A. Install the access doors in accordance with the manufacturer's printed installation instructions, except as shown or specified otherwise.
- B. Coordinate access door installation with installation of supporting construction.
- C. Set units accurately in position and securely attach to supports with face panel plumb or level in relation to adjoining finish surface.

3.02 ADJUSTING

- A. Adjust hardware and doors for proper operation.

3.03 SCHEDULE

- A. Provide non-fire rated access doors in non-fire rated construction and fire rated access doors in fire rated construction.

END OF SECTION



PHOTO 1
PROPOSED REMOTE PERSONAL DECONTAMINATION AND ASBESTOS WASTE STORAGE AREA ON THE 9TH FLOOR. AREA TO BE USED FOR ACM REMOVED FROM THE 10TH FLOOR. PANEL BOX ON CONCRETE WALL SHALL REMAIN ACCESSIBLE FOR FACILITY PERSONNEL.



PHOTO 3
LIVE PANEL BOXES TO BE PROTECTED.



PHOTO 2
TENTH FLOOR OVERVIEW.

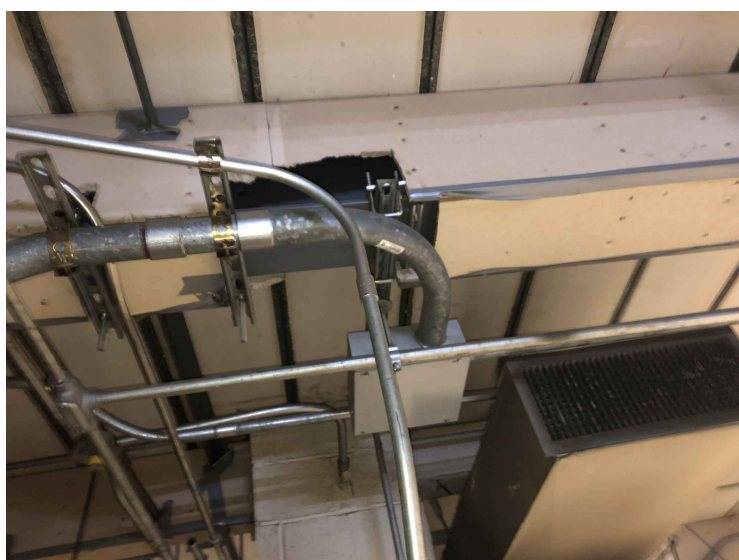
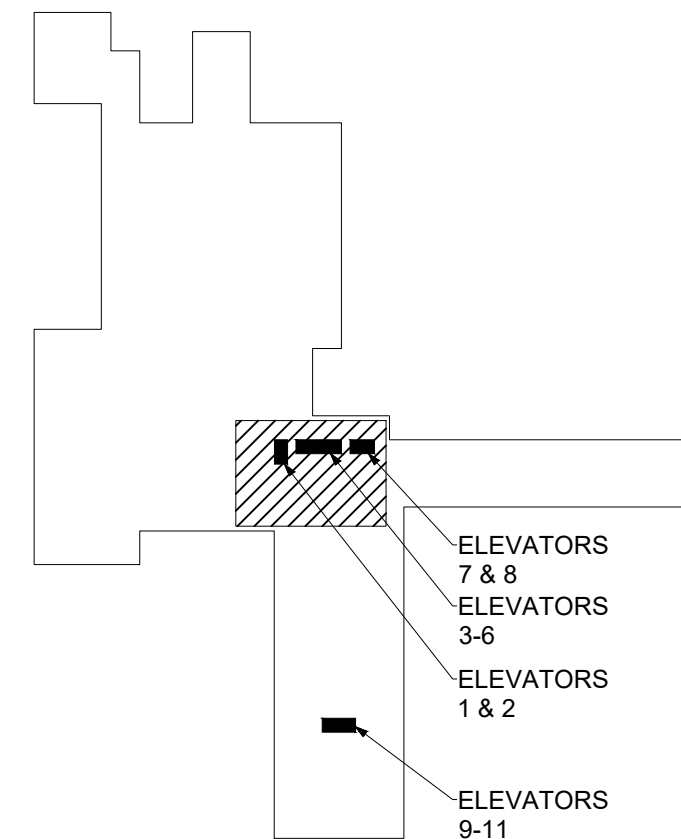
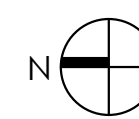


PHOTO 4
CONDUIT TO BE SUPPORTED.

Key Plan



L-2 REMOVE PAINT FROM STRUCTURAL STEEL AS REQUIRED FOR NEW WELDS. PAINT SHALL BE STRIPPED FOUR INCHES FROM POINT OF WELDING USING CHEMICAL PAINT REMOVERS. COORDINATE SPECIFIC LOCATIONS WITH STRUCTURAL DRAWINGS. PROPERLY DISPOSE OF ALL LEAD WASTE.



1	10/17/2025	REVISED DRAWINGS
	7/24/2025	BID DOCUMENTS
	5/15/2025	100% BACKCHECK SUBMISSION

MARK	DATE	DESCRIPTION
PROJECT NUMBER:	Q1963 - C	
DESIGNED BY:	GB	
DRAWN BY:	NAK	
FIELD CHECK:		
APPROVED:		
SHEET TITLE:		

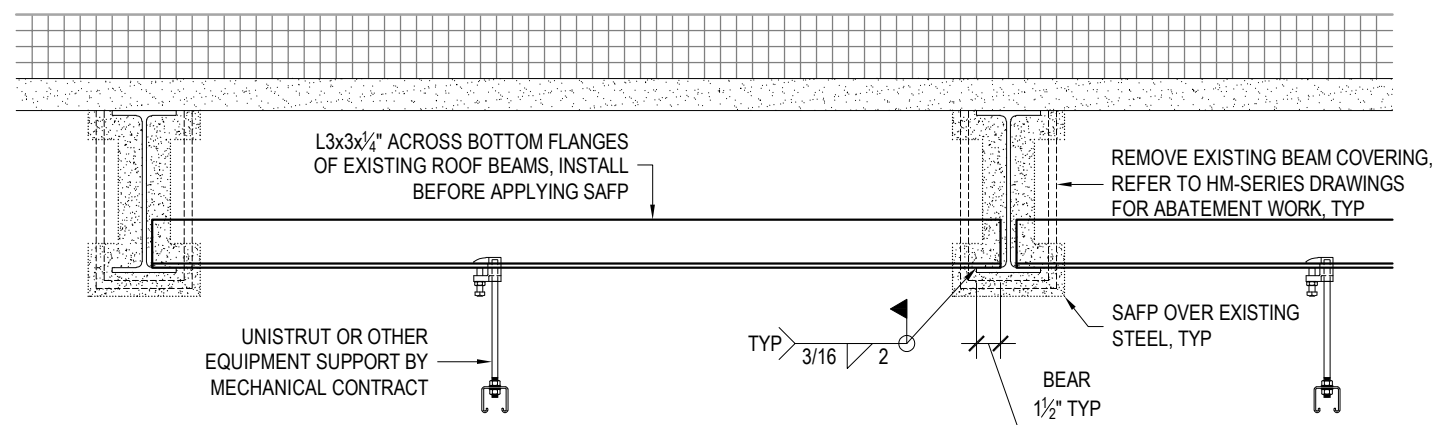
HAZARDOUS
MATERIALS
REMOVAL PLAN

DRAWING NUMBER:

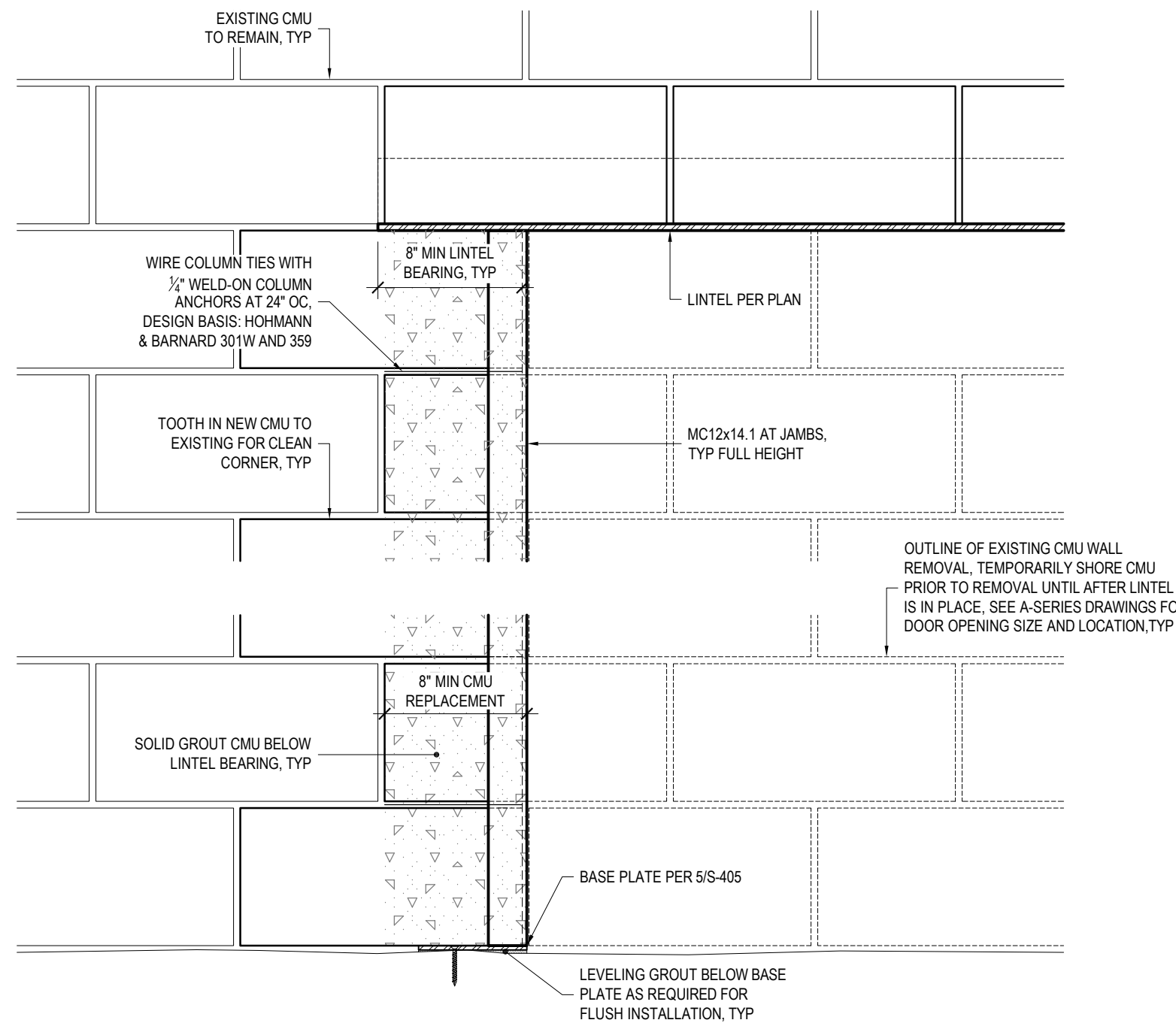
HM-101

SHEET

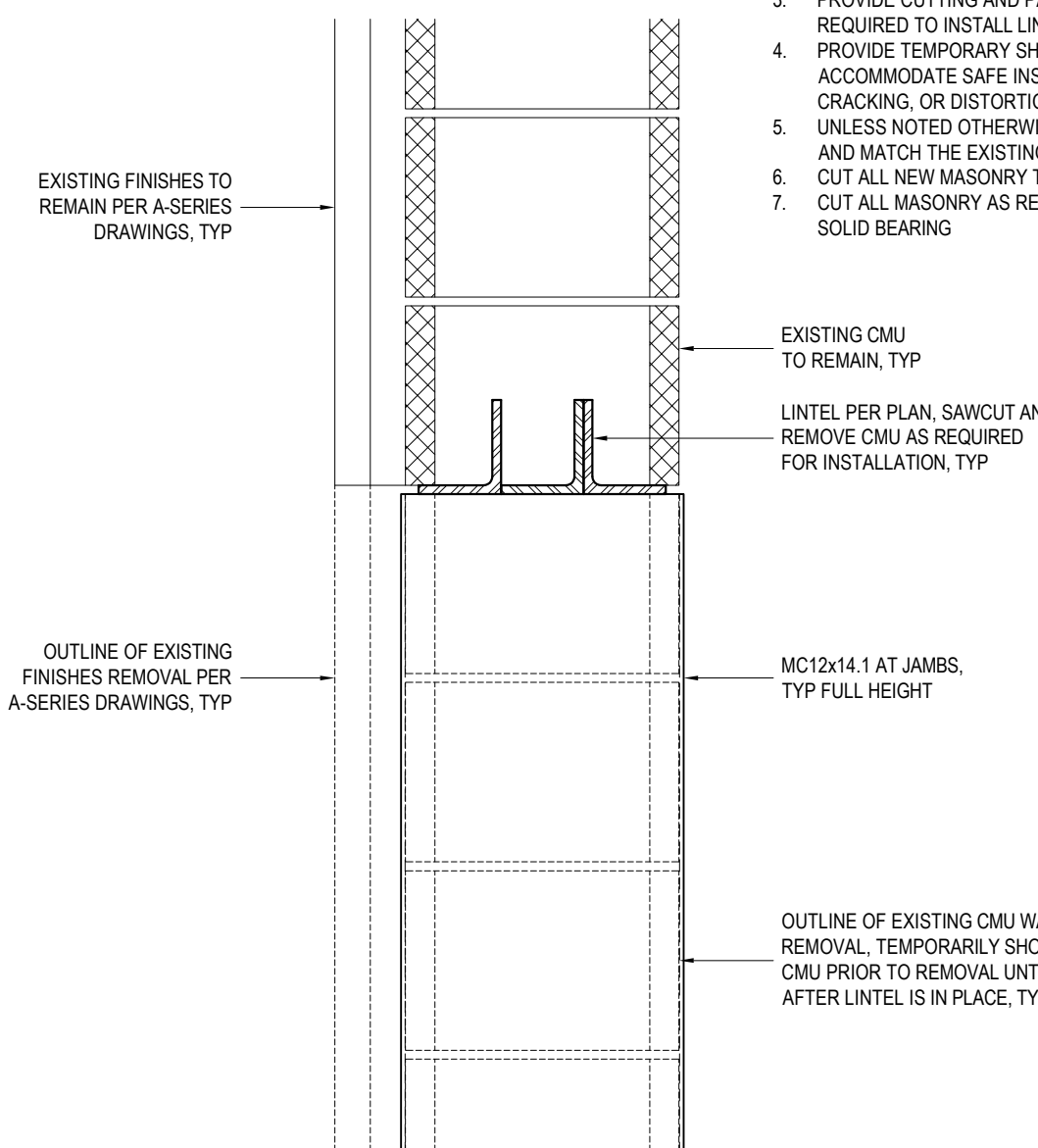
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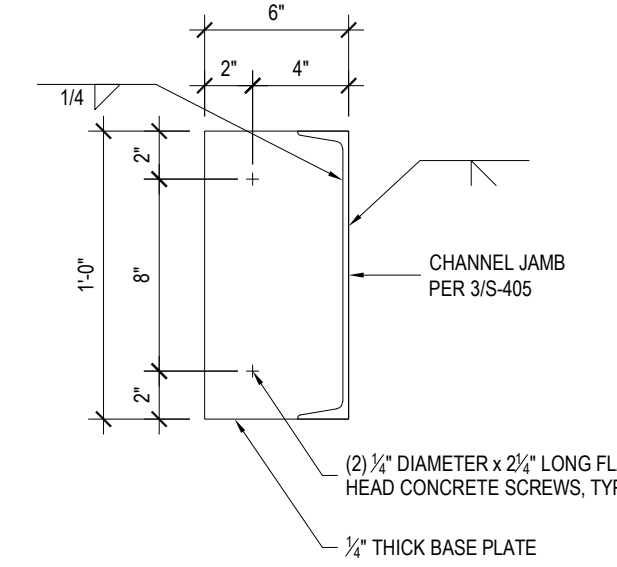
2 HVAC Supports at Existing Roof
SCALE 1" = 1'-0"



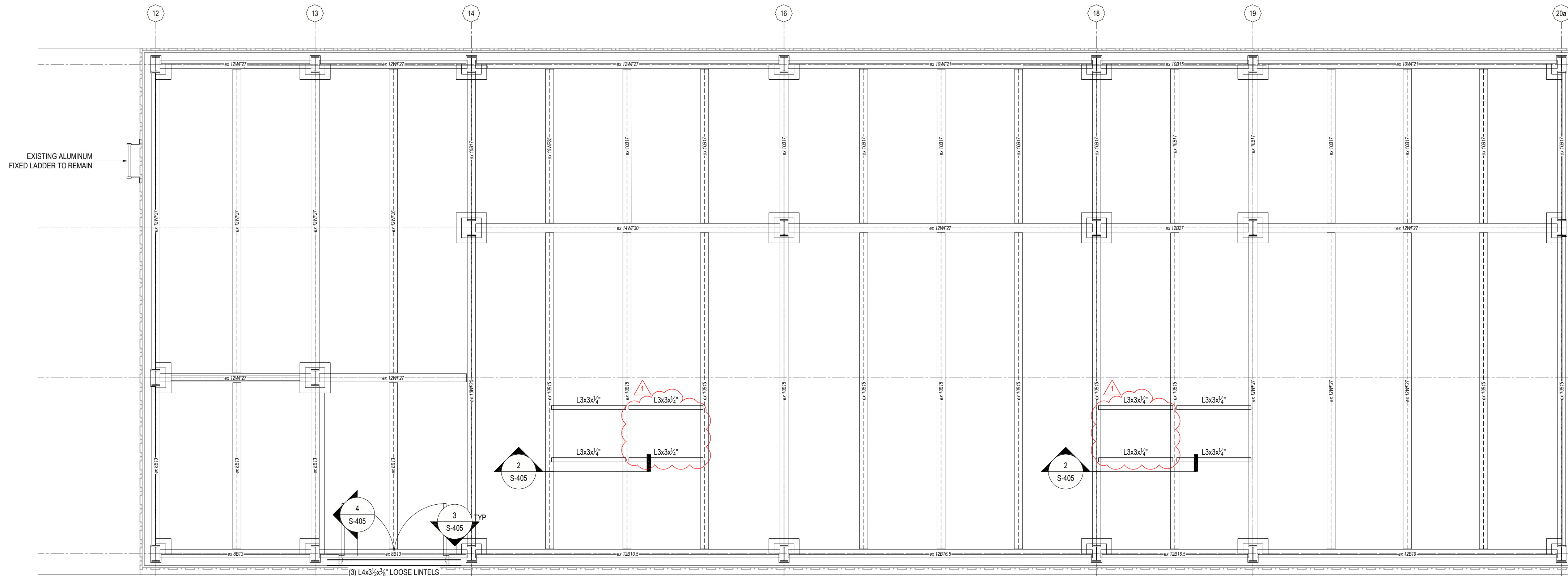
3 Jamb Detail at Lintel
SCALE 1-1/2" = 1'-0"



4 Head Detail at Lintel
SCALE 1-1/2" = 1'-0"

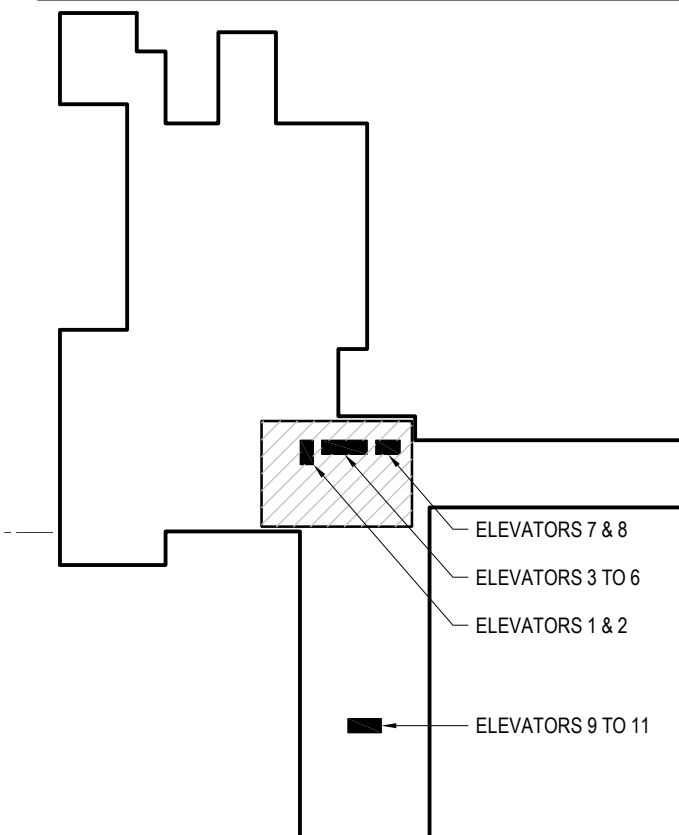


5 Channel Jamb Base Plate
SCALE 1-1/2" = 1'-0"



1 Enlarged Roof Structure Plan
SCALE 1/4" = 1'-0"

Key Plan



DESIGN & CONSTRUCTION

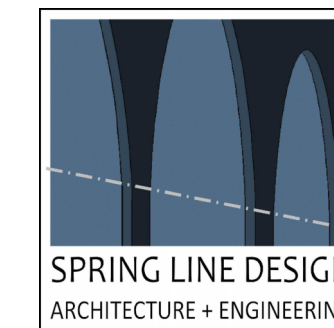
CONSULTANT

CERTIFICATE OF AUTHORIZATION #: 0022677



Architectural Resources

ME ENGINEERING



Watts Architects & Engineers

WARNING:

THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.



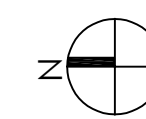
REGISTRATION EXPIRES: 11/30/2025

CONSTRUCTION

TITLE: **PROVIDE RENOVATIONS & ELECTRICAL UPGRADES, MAIN ELEVATOR MACHINE ROOM**

LOCATION: **UPSTATE MEDICAL CENTER
750 E ADAMS ST. SYRACUSE, NY**

CLIENT: **SUNY UPSTATE MEDICAL UNIVERSITY**



MARK	DATE	DESCRIPTION
1	10/17/2025	REVISED DOCUMENTS
	7/24/2025	BID DOCUMENTS

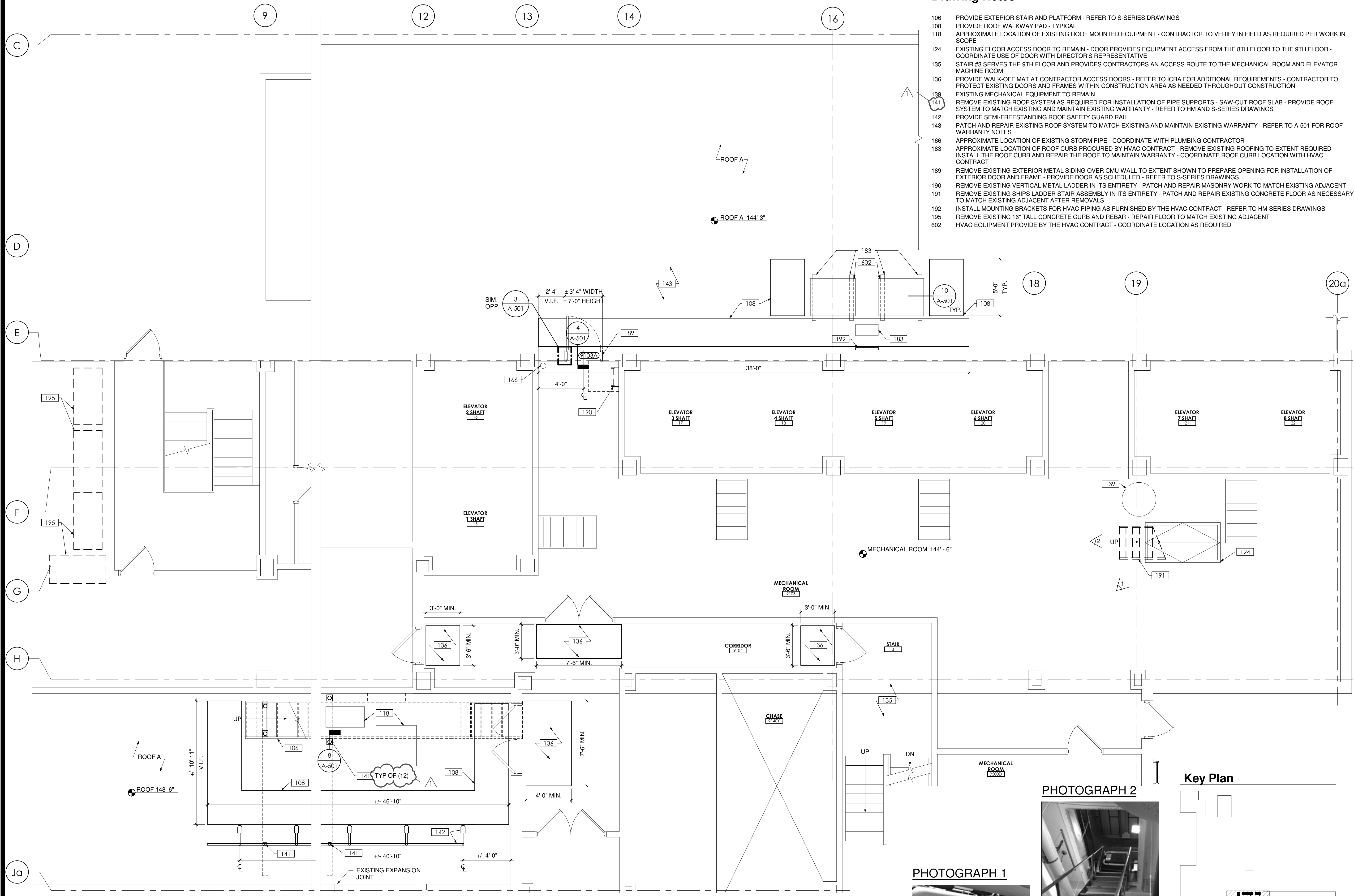
PROJECT NUMBER: **Q1963 - C**
DESIGNED BY: JAB
DRAWN BY: NAC
FIELD CHECK:
APPROVED:

SHEET TITLE:

ENLARGED ROOF STRUCTURE PLAN AND DETAILS

DRAWING NUMBER:

S-405



1 Enlarged Ninth Floor Plan
1/4" = 1'-0"

Drawing Notes

- 106 PROVIDE EXTERIOR STAIR AND PLATFORM - REFER TO S-SERIES DRAWINGS
108 PROVIDE ROOF WALKWAY PAD - TYPICAL
118 APPROXIMATE LOCATION OF EXISTING ROOF MOUNTED EQUIPMENT - CONTRACTOR TO VERIFY IN FIELD AS REQUIRED PER WORK IN SCOPE
124 EXISTING FLOOR ACCESS DOOR TO REMAIN - DOOR PROVIDES EQUIPMENT ACCESS FROM THE 8TH FLOOR TO THE 9TH FLOOR - COORDINATE USE OF DOOR WITH DIRECTOR'S REPRESENTATIVE
135 STAIR #3 SERVES THE 9TH FLOOR AND PROVIDES CONTRACTORS AN ACCESS ROUTE TO THE MECHANICAL ROOM AND ELEVATOR MACHINE ROOM
136 PROVIDE WALK-OFF MAT AT CONTRACTOR ACCESS DOORS - REFER TO ICRA FOR ADDITIONAL REQUIREMENTS - CONTRACTOR TO PROTECT EXISTING DOORS AND FRAMES WITHIN CONSTRUCTION AREA AS NEEDED THROUGHOUT CONSTRUCTION
139 EXISTING MECHANICAL EQUIPMENT TO REMAIN
141 REMOVE EXISTING ROOF SYSTEM AS REQUIRED FOR INSTALLATION OF PIPE SUPPORTS - SAW-CUT ROOF SLAB - PROVIDE ROOF SYSTEM TO MATCH EXISTING AND MAINTAIN EXISTING WARRANTY - REFER TO HM AND S-SERIES DRAWINGS
142 PROVIDE SEMI-FREESTANDING ROOF SAFETY GUARD RAIL
143 PATCH AND REPAIR EXISTING ROOF SYSTEM TO MATCH EXISTING AND MAINTAIN EXISTING WARRANTY - REFER TO A-501 FOR ROOF WARRANTY NOTES
166 APPROXIMATE LOCATION OF EXISTING STORM PIPE - COORDINATE WITH PLUMBING CONTRACTOR
183 APPROXIMATE LOCATION OF ROOF CURB PROCURED BY HVAC CONTRACT - REMOVE EXISTING ROOFING TO EXTENT REQUIRED - INSTALL THE ROOF CURB AND REPAIR THE ROOF TO MAINTAIN WARRANTY - COORDINATE ROOF CURB LOCATION WITH HVAC CONTRACT
189 REMOVE EXISTING EXTERIOR METAL SIDING OVER CMU WALL TO EXTENT SHOWN TO PREPARE OPENING FOR INSTALLATION OF EXTERIOR DOOR AND FRAME - PROVIDE DOOR AS SCHEDULED - REFER TO S-SERIES DRAWINGS
190 REMOVE EXISTING VERTICAL METAL LADDER IN ITS ENTIRETY - PATCH AND REPAIR MASONRY WORK TO MATCH EXISTING ADJACENT
191 REMOVE EXISTING SHIPS LADDER STAIR ASSEMBLY IN ITS ENTIRETY - PATCH AND REPAIR EXISTING CONCRETE FLOOR AS NECESSARY TO MATCH EXISTING ADJACENT AFTER REMOVALS
192 INSTALL MOUNTING BRACKETS FOR HVAC PIPING AS FURNISHED BY THE HVAC CONTRACT - REFER TO HM-SERIES DRAWINGS
195 REMOVE EXISTING 16" TALL CONCRETE CURB AND REBAR - REPAIR FLOOR TO MATCH EXISTING ADJACENT
602 HVAC EQUIPMENT PROVIDED BY THE HVAC CONTRACT - COORDINATE LOCATION AS REQUIRED

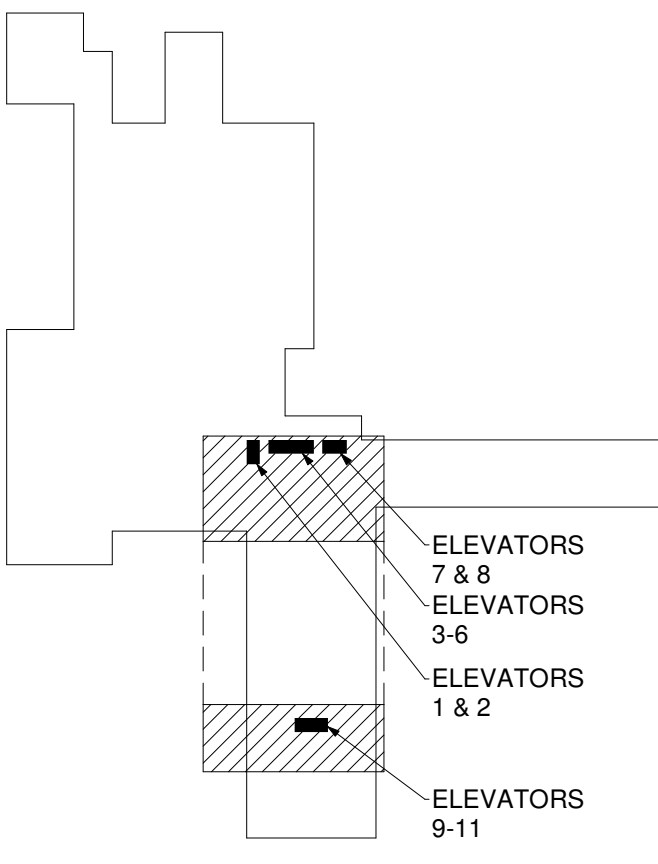
PHOTOGRAPH 1



PHOTOGRAPH 2



Key Plan



PHOTOGRAPHS PROVIDED IN THE CONTRACT DOCUMENTS (THIS SHEET) ARE FOR REFERENCE PURPOSES ONLY. THESE PHOTOS REPRESENT WHAT CONDITIONS WERE AT THE TIME THEY WERE TAKEN AND MAY NOT ACCURATELY REPRESENT CURRENT CONDITIONS.

DESIGN & CONSTRUCTION

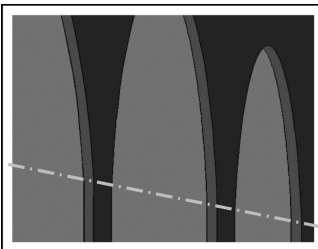
CONSULTANT

CERTIFICATE OF AUTHORIZATION #: 1127432



Architectural Resources

ME ENGINEERING



SPRING LINE DESIGN
ARCHITECTURE + ENGINEERING

Watts Architects & Engineers

WARNING:

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REGISTRATION EXPIRES:
12/31/2026

CONSTRUCTION

TITLE:
PROVIDE RENOVATIONS & ELECTRICAL UPGRADES, MAIN ELEVATOR MACHINE ROOM

LOCATION:
UPSTATE MEDICAL CENTER
750 E ADAMS ST. SYRACUSE, NY

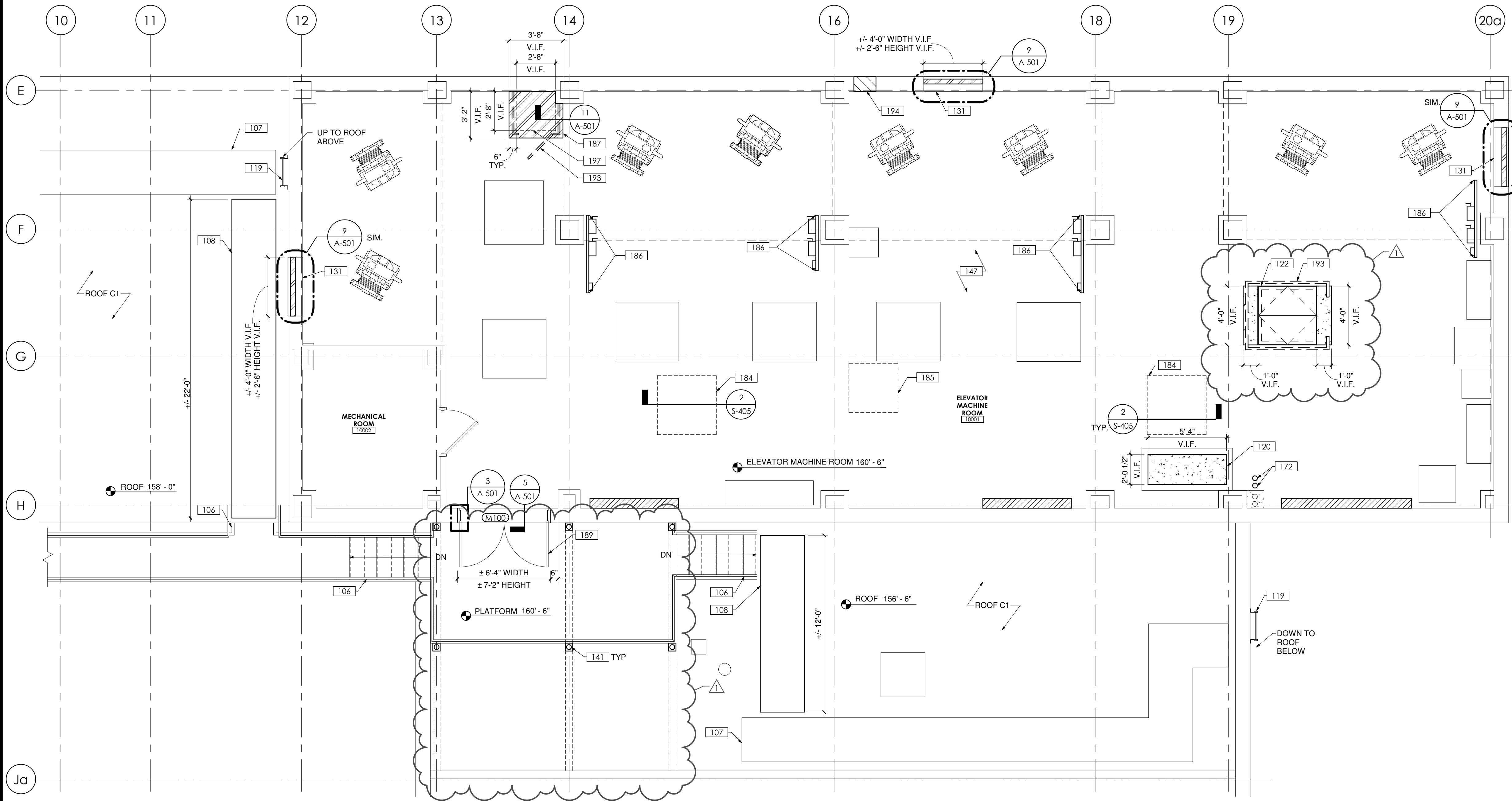
CLIENT:
SUNY UPSTATE MEDICAL UNIVERSITY



MARK	DATE	REVISIONS BID DOCUMENTS	DESCRIPTION
1	10/17/2025	REVISED DRAWINGS	
	7/24/2025	BID DOCUMENTS	

PROJECT NUMBER: Q1963 - C
DESIGNED BY: MCS
DRAWN BY: RTR
FIELD CHECK:
APPROVED:
SHEET TITLE:
ENLARGED NINTH FLOOR PLAN

DRAWING NUMBER:
A-403

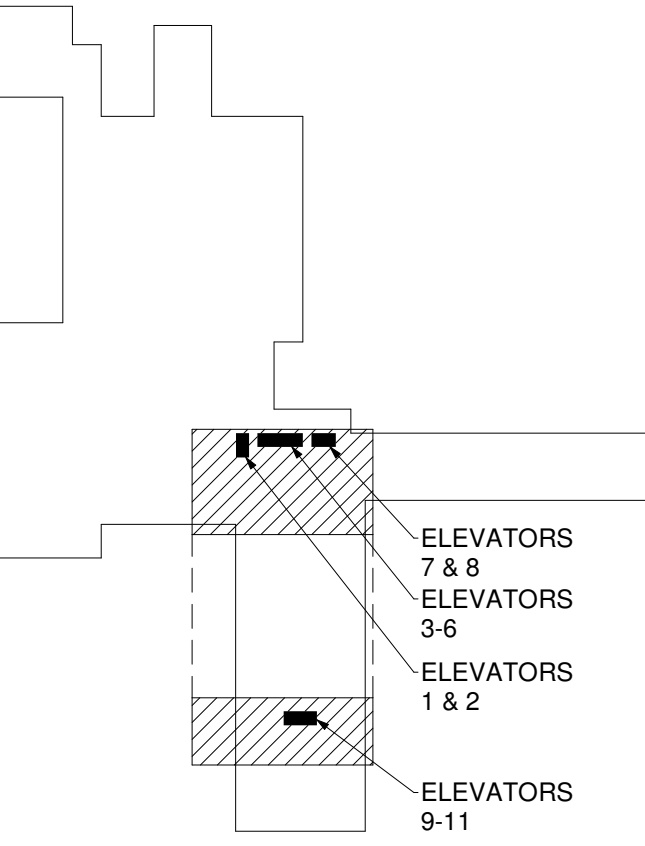


2 Enlarged Tenth Floor Plan
1/4" = 1'-0"

Drawing Notes

- 106 PROVIDE EXTERIOR STAIR AND PLATFORM - REFER TO S-SERIES DRAWINGS
- 107 EXISTING RUBBER WALKING MAT TO REMAIN - PROTECT AS REQUIRED DURING CONSTRUCTION
- 108 PROVIDE ROOF WALKWAY PAD - TYPICAL
- 119 EXISTING LADDER TO REMAIN
- 120 EXISTING CONCRETE CURB TO REMAIN - EXISTING DUCTWORK TO BE REMOVED BY HVAC CONTRACT - PROVIDE CONCRETE SLAB INFILL - REFER TO STRUCTURAL DRAWINGS
- 122 PROVIDE 2-HOUR FIRE RATED 48" X 48" FIRE RATED FLOOR HATCH - INSTALL WITHIN EXISTING CONCRETE SLAB OPENING - REFER TO S-SERIES DRAWINGS CONSTRUCTION
- 131 EXISTING DAMPER AND CONTROLS TO BE REMOVED BY HVAC CONTRACT - EXISTING LOUVER TO REMAIN - COORDINATE REMOVALS AS REQUIRED FOR INSTALLATION OF BLANK-OFF PANEL - PROVIDE BLANK-OFF PANEL OVER EXISTING LOUVER
- 141 REMOVE EXISTING ROOF SYSTEM AS REQUIRED FOR INSTALLATION OF PIPE SUPPORTS - SAW-CUT ROOF SLAB - PROVIDE ROOF SYSTEM TO MATCH EXISTING AND MAINTAIN EXISTING WARRANTY - REFER TO HM AND S-SERIES DRAWINGS
- 147 PROVIDE FIRE-PROOFING AT ALL EXPOSED STEEL UPON COMPLETION OF ALL WORK - COORDINATE WITH ALL CONTRACTS - TOUCH UP FIRE-PROOFING AS COORDINATED WITH DIRECTOR'S REPRESENTATIVE PRIOR TO SUBSTANTIAL COMPLETION - ASSUME 75 SQUARE FEET OF TOUCH-UP
- 172 PROVIDE 2-HOUR RATED FIRESTOPPING AT EXISTING PIPE SLEEVES TO BE ABANDONED BY HVAC CONTRACT - APPROXIMATELY 2 SQUARE FEET TOTAL
- 184 LINE OF HVAC EQUIPMENT AND SUPPORTS ABOVE - REFER TO HM-SERIES DRAWINGS FOR SPRAY APPLIED FIRE PROOFING ABATEMENT - PROVIDE 2-HOUR FIRE RATED SPRAY APPLIED FIREPROOFING TO MAINTAIN RATING AFTER REMOVALS
- 185 ROOF TOP EXHAUST FAN TO BE REMOVED AND ABATED - REFER TO HM-SERIES DRAWINGS - COORDINATE WITH THE HVAC CONTRACT REMOVALS AND METAL CAP INSTALLATION
- 186 ELECTRICAL EQUIPMENT PROVIDED BY ELECTRICAL CONTRACT
- 187 PROVIDE 3/8" THICK STEEL PLATE OVER RATED INFILL - FASTEN TO CONCRETE SLAB WITH CONDITION APPROPRIATE ANCHORS, TYPICAL OF 4 - PREPARE AND PAINT WITH INTUMESCENT PAINT TO PROVIDE A 2-HOUR FIRE RATING - TYPE FRFP
- 189 REMOVE EXISTING EXTERIOR METAL SIDING OVER CMU WALL TO EXTENT SHOWN TO PREPARE OPENING FOR INSTALLATION OF EXTERIOR DOOR AND FRAME - PROVIDE DOOR AS SCHEDULED - REFER TO S-SERIES DRAWINGS
- 193 REMOVE EXISTING METAL RAILING, GATE, AND SUPPORTS IN THEIR ENTIRETY - PATCH AND REPAIR EXISTING CONCRETE FLOOR AS NECESSARY TO MATCH EXISTING ADJACENT AFTER REMOVALS - PROVIDE TEMPORARY FALL PROTECTION AT OPENING AS REQUIRED - PREPARE OPENING FOR CONSTRUCTION WORK AS REQUIRED - SALVAGE AND TURN GATE OVER TO DIRECTOR'S REPRESENTATIVE
- 194 CORE DRILL EXTERIOR WALL PENETRATIONS - TYPICAL OF (5) 8" DIAMETER HOLES - COORDINATE PIPE SIZES WITH HVAC CONTRACT - REFER TO HM-SERIES DRAWINGS - PENETRATION INFILL BY HVAC CONTRACTOR
- 197 PROVIDE RATED INFILL IN EXISTING OPENING IN CONCRETE FLOOR

Key Plan



DESIGN & CONSTRUCTION

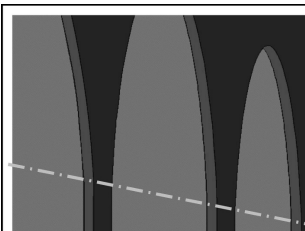
CONSULTANT

CERTIFICATE OF AUTHORIZATION #: 1127432



Architectural Resources

ENGINEERING



SPRING LINE DESIGN
ARCHITECTURE + ENGINEERING



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REGISTRATION EXPIRES: 12/31/2026

CONSTRUCTION

TITLE: PROVIDE RENOVATIONS & ELECTRICAL UPGRADES, MAIN ELEVATOR MACHINE ROOM

LOCATION: UPSTATE MEDICAL CENTER
750 E ADAMS ST. SYRACUSE, NY

CLIENT: SUNY UPSTATE MEDICAL UNIVERSITY

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